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STATEMENT OF INTENT

The Parasol Subdivision Architectural Review Board (PARB) with its power of review and approval, will endeavor to maintain a subdivision design standard with respect to site planning and architectural design.

In an effort to support this policy and to aid in the successful development of Parasol Subdivision, this Architectural Guidelines Manual has been established. The intent of the suggestions, guidelines and restrictions herein is to ensure the development of a subdivision with a consistent character of "beach homes" while encouraging architectural and landscaping diversity from home to home. Toward this end, the PARB recommends that, whenever possible, property owners retain the services of a licensed Architect to assist in the design and production of new homes in the subdivision.

While the guidelines dictate certain requirements, the PARB reserves the right to grant variances to these requirements. Variances will be considered where the overall design character objectives can be achieved.

The Parasol Architectural Review Board (PARB) retains subjective judgment authority to approve or disapprove plans and specifications. The PARB's review will include (but not be limited to) overall dwelling design, land use, setbacks, colors materials and relation to adjacent dwellings. Subjective judgment does not imply unreasonable judgment and approval of plans shall not be unreasonably withheld, however, the PARB shall retain absolute subjective judgment authority.

SITE PLANNING

Planning Considerations and Restrictions

The subdivision is governed by the Escambia County Land Use Ordinance and Coastal Construction requirements. These Architectural Guidelines are in addition to other regulatory requirements. In the event issues are addressed in both the County Ordinance and these covenants, the most restrictive requirement will apply.

- Existing subdivision zoned R-3 (10/1/91)
- Building height may not exceed 2-1/2 stories or 35' above the first habitable finished floor. Height limit includes roof structures and chimneys.
- Setback requirements:
 - Front yard - 25 feet
 - Side yard - 10% of lot width, except as noted on plat. (Gulf-front lots have 15' side line setback requirements.)
 - Rear yard - as noted on plat
 - All utility service shall be underground.

Parking and Paving

- All driveways and sidewalks shall be concrete, concrete paver, brick paver, or similar. Asphalt or shell is not allowed.
- Patios may be concrete, concrete pavers, brick pavers or similar. Large hardscaped areas must include defining elements such as garden wall, landscaping, trellis, etc.
- Each lot shall provide parking for a minimum of two cars and a maximum of three cars in an enclosed garage. (See special requirements for Gulf-front lots.) In addition, driveways shall provide capacity for two additional parked cars - side by side (in front of garage is acceptable).
- RV's, boats, trailers and disabled vehicles are not permitted to be stored on site unless completely stored in garage with garage door closed. This means "no parking". There are commercial boatyards available that allow temporary storage of boats and RVs.

Accessory Structures

- Accessory structures or separate storage sheds of any kind are not permitted.

Fencing

A painted picket fence is required in the following areas:

- Front yard - Fence parallel with street, 10' behind property line, 3' high.
- Side yard - Fence (4' high) at lot line is required at properties with a common lot lines and at easement line at side yards adjacent to pedestrian paths
- Rear yard - Fence (4' high) is required at easement line along the pedestrian path at all Block B lots. One pedestrian gate is required at rear or side yard fences along pedestrian path. Gulf-front-lots will not be required to have a rear yard fence. All other lots will have subdivision perimeter fence at rear yard (installed by developer).
- Stainless steel staples/nails and hardware are required on all wooden fences
- Attached hereto are standard plans and specifications for all fencing currently being used throughout Parasol. Other designs are acceptable with PARB approval.
- Fence construction shall be pressure treated pine, cedar, cypress or redwood. Aluminum, vinyl and PVC fence materials are allowed if construction data indicates design and material specifications meet subdivision design guideline objectives.
- Fences are to be white. If painted, paint shall be equal to Benjamin Moore 103 and 105 or Sherwin Williams 107-8070.
- Owner is responsible for maintenance and upkeep of fence (painting and repair).

Exterior Lighting

- All electrical service in subdivision shall be underground.
- In-ground site lighting for the illumination of buildings and landscaping is allowed within the front setback line but must be directed away from adjacent homes and property and must not be visible from the beach.
- General illumination floodlights shall not be allowed.
- Conventional security-type "night lights" are not allowed.

Landscaping

- The three main design components of lot landscaping shall be planting beds, sodded areas and groundcover.
- An underground irrigation system with automatic timer device is required.

- The ten (10) foot wide area between the front yard fence and the back of sidewalk front property line must be landscaped. Trees, shrubs and groundcover can be used and it is recommended that specimens from the recommended list be utilized. In all cases, all trees, shrubs should be located at least five feet behind the property line. The first five feet from the property line should be sodded.
- 100% of the lot not covered by house, decks or patios should be landscaped. Rear yards and side yards of Gulf-front lots shall not be sodded and shall be landscaped with natural vegetation.
- Trees, shrubs and ground cover specimens that are salt tolerant and that have been proven to do well in the North West Florida climate should be used. Although not all inclusive, specimens listed on the Recommended Specimen List should do well. It is suggested that only items included in this list be used for landscaping purposes. In any event, all trees, shrubs, ground cover or any other plant material should be well maintained at all times. Any specimen that has become unsightly or has died shall be immediately removed
- A detailed landscape and irrigation plan is required to be submitted for review and approval by the PARB. It is recommended that this plan be prepared by a qualified Landscape Designer or Landscape Architect qualified in beach design criteria. The plan, at scale, shall indicate location, type, size and quantity of all plantings.
- All sod shall be Raliegh St. Augustine, hybrid, resistant to chinch bugs and salt tolerant. The Parasol development uniqueness of the road, colored curb, bordered by a common white picket fence is to tie the Parasol community together. The choice of St. Augustine, hybrid grass has been done with great thought as to the suitability to our "salt" environment.

ARCHITECTURAL GUIDELINES

Design Philosophy

The local climate, traditional regional building types, the requirements herein, and the location of Parasol Subdivision along the Gulf of Mexico provide an opportunity for planning and design that are intended to result in a subdivision with architecturally pleasing homes and enhanced values. The following guidelines are intentionally nonrestrictive to allow design flexibility and encourage creativity.

Several distinct elements characterize the style:

- Deep overhangs and eaves.
- Covered porches.

- Large wrap-around porch areas and/or deck areas.
- Lively trim work, i.e., exposed rafter ends, patterned balcony railing, trellis, and arbors.
- Window treatments - build up window walls with multiple units; utilize operable units, especially casements, hoppers and projected units that enliven the facades when opened. Shutters are encouraged.
- Cupolas, widow's walks, and sun decks are encouraged.
- Pastel colors.

Be aware that in harsh salt and bright sunlight conditions along the Gulf of Mexico dark colors fade in a little over one years time. The choice of bright, light pastel colors is the best over the long term for lower maintenance costs.

Size

- Minimum square footage requirement shall be 1,800 square feet of habitable area for Gulf-front lots and 1,400 square feet of habitable area for lots not on the gulf-front.

Footings

- Foundation shall be pile-type, wood or concrete.
- Appropriate skirting is required from bottom of floor joist to grade.
- Exposed piles shall be encased with acceptable construction.
- Pilings and structure are to be certified by an Architect or structural engineer registered in the State of Florida.

Exterior Wall Finishes

The following exterior finishes are acceptable. Note that exceptions are possible where design conditions warrant:

- Hard stucco or "dryvit" type systems
- Selected vinyl siding may be used although it is highly discouraged because of our experience with extensive wind damage and the propensity of vinyl to fade in the harsh sunlight.
- Painted wood siding (horizontal lap siding) and hardy board . Specifications for paint to be applied to wood siding and trim are included in this document.
- Not acceptable: brick, stone, faux stone, wood sheet siding products or concrete,

board and batten siding.

- **Colors**

- The exterior finish of each residence may display a minimum of three colors. The Architectural Control Board shall carefully review color schemes and retains the right to request color elevation drawings to aid in the review process.
- All wood trim shall be painted or vinyl clad.

Windows and Doors

- Window frames and sashes shall be either painted wood or vinyl clad. Aluminum windows will be allowed if windows meet AAMA commercial grade standards with a minimum of forty (40) psf design pressure.
- All fixed inoperable windows, including skylights, shall be reviewed for overall appearance.
- Window shutters are allowed and should be wood, louvered and operable.
- Slightly tinted glass is allowed, but foil or reflective glazing is not acceptable.
- Multiple units and divided panes are encouraged.
- Doors should have detailing to include panels and lights.

Entries. (Porches. Balconies and Stairs)

- All street sides of homes should have a "front door", except those lots with unusual shape or orientation. In all cases, all homes must have architecturally pleasing appearances, front, sides, and rear of the homes. Those homes which will be built on Lots 1 through 4 and 23 through 28, Block A, shall insure that the rear of the homes which will face on Johnson Beach Road have architecturally pleasing appearances.
- Covered entries are encouraged.
- Porches and balconies are suggested and should be utilized on several sides.
- Balcony railings should be open and include lively, patterned detailing.
- All exterior stairs should be wood or stucco construction. It is recommended that stairs should utilize intermediate landings eliminating "Straight runs". Floor landings should be of adequate size and preferably covered. Stair handrails should be in character with porch or balcony handrail treatment. All balconies should be accessible through operable doors.

Roofs

- Roofing material shall be metal, i.e., (standing seam, batten seam, Bermuda shake "v" crimp, corrugated), concrete tile, terra cotta tile, glazed ceramic shingles or similar.
- Metal roof finishes shall be as follows:
 - Aluminum - Fluorocarbon coating over prime coat. (Equal to Kynar 500)
 - Steel - Galvalume G90 with natural or painted finish. (Painted finish shall be equal to Kynar 500 coatings.)
- Wood and fiberglass shingles are not allowed. Asphalt shingles are allowed but are highly discouraged because of our experience with extensive wind damage.
- All roofing accessories including vent stacks and roof vents shall be painted to match roof color.
- Roof overhangs and rakes should be deep to provide sun control.
- Roof structures such as cupolas and widow's walks are permitted; however, their proportions should be carefully considered.

Soffits

- Solid soffits with screen or ventilator perforations do not blow out during severe weather perhaps sparing the house from further roof damage and/or water damage to ceilings.

Hurricane Shutters

- Highly recommend all residents install hurricane shutters. Permanent operable shutters at upper levels are desirable because of the difficulty and danger in installing these shutters as the wind increases.

Garages

- Each residence shall provide enclosed car storage for a minimum of two vehicles; the maximum allowable garage shall accommodate three vehicles. (See special exception for Gulf-front lots.)
- Garage doors are required where garage entry faces the street.
- Finished metal garage doors are not allowed.
- Garage doors shall be kept closed.

Chimneys

- Shall match the basic house finish or roofing metal and shall be approved by the Architectural Review Board.
- Chimneys must conform to overall building height restrictions.

Decks

- All wood decks shall be constructed of pressure-treated lumber or redwood. Handrails and guardrails with pickets shall be painted. Trex or other synthetic decking material is highly recommended because of their resistance to splintering and rot.

Special Conditions

- All Gulf-front lots are wholly or partially within the V20 (elev. 13) zone and all other lots are within the AO (depth1') zone as defined by Federal Emergency Management Agency (FEMA) National Flood Insurance Program.
- All Gulf-front lots are subject to Florida Department of Natural Resource permitting requirements.
- Proper regulatory agencies should be contacted to identify requirements of these agencies. Nothing within these guidelines shall override their requirements or prevent the lot owner from obtaining these agencies' approvals for construction.

Painting Guidelines

Painting of wood siding and trim shall be specified to insure high quality durable results.

Specifications shall include instruction for treatment of knots and cracks. Specifications shall require priming of all unprimed materials delivered to job site. Priming shall include edges, faces, undersides and backsides. Priming shall include two coats where sanding is required between coats.

Painting specifications for wood siding and trim shall include premium quality exterior grade paint formulated for wood applications. Two-coat applications, minimum, are required (over primed wood).

Paint specifications should include caulking and joint sealing with appropriate products.

REVIEW PROCEDURES

Plans and specifications shall be prepared by a registered architect or qualified residential designer. The use of standard or stock plans is discouraged.

Submission, Review and Approval

- Three sets of plans, including the following, shall be submitted to the PARB for review.

Requirements:

Complete sets of construction plans to scale and specifications, including as a minimum the following:

- Site plan to scale indicating proposed building sizes and locations, proposed decks, storage areas, driveways, walkways, fences, garden walls and planting beds.
- Floor plans to scale including computation of the square footage of each floor.
- Elevation drawings to scale - all sides. Indicate finish floor elevations as well as exterior finishes and any treatment of building from grade to floor in elevated buildings (to scale).
- Detailed drawings of:
 - 1) Typical wall section.
 - 2) Other features desirable for clarification:
(cupolas, widow's walks, fences, screens, balcony railings, etc.)
- Material samples, color selections, specifications, and other items that will aid the PARB in understanding the design.
- Landscape and irrigation plans to scale as detailed in landscape section.

CONSTRUCTION SITE REQUIREMENTS

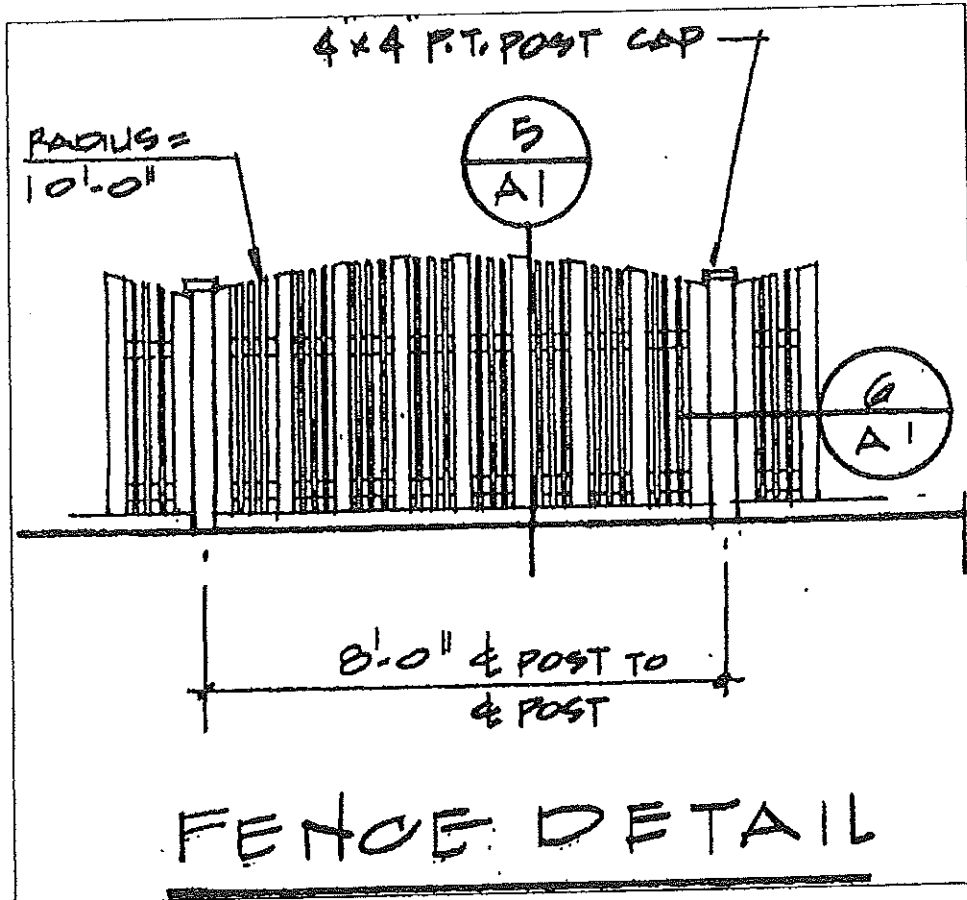
1. All construction vehicles must be kept clear of the road at all times and should not block the roadway, driveways or mail boxes.
2. All construction materials must be kept or stored on the property and not on the road or the concrete drain apron area.
3. The concrete apron area shall be kept swept clean at all times
4. All scrap material must be collected each day and secured in an enclosed container. Due to the very high wind factor, loose and unsecured scrap material will blow and cause litter and potential damage to adjacent homes.

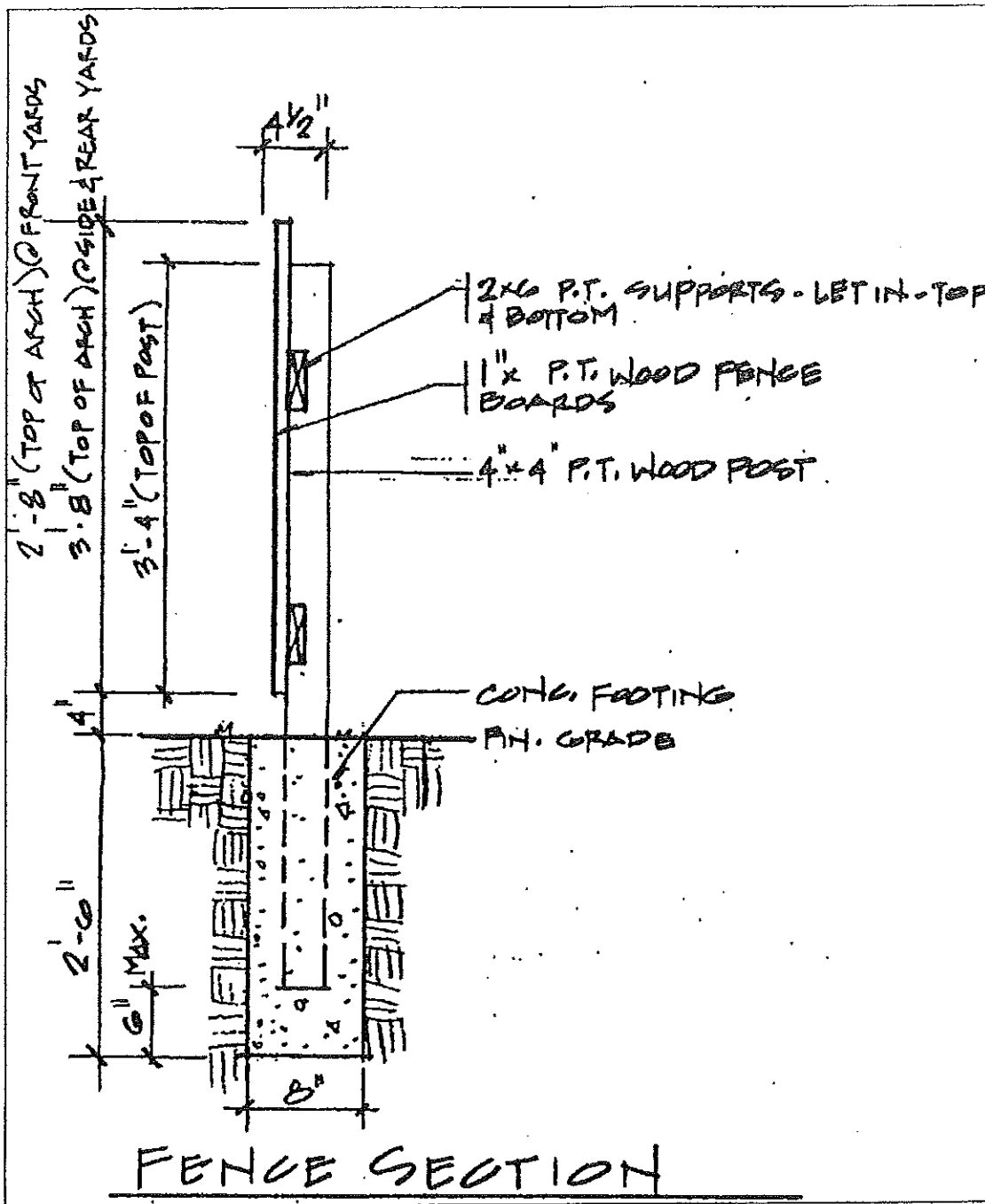
5. The PRAB will issue the general contractor his gate code. The code will be removed from the keypad once the property owner has finished his home.
6. A \$2,000.00 cash deposit will be collected by the Board and held until the homeowner has taken occupancy and any damages to Association property have been repaired.

Attachments

- Attachment 1: Fence Detail
- Attachment 2: Fence Section
- Attachment 3: Fence Detail @ Post
- Attachment 4: PARASOL RECOMMENDED PLANT LIST

Attachment 1





Attachment 3

